



The City of Roman Forest has adopted the 2015 International Building Codes and Amendments and the 2014 National Electric Code as a minimum standard for new construction. The builder/developer will be subject to required inspections for compliance.

All projects shall follow codes and city ordinances.

It is not the intent of the City to limit growth or inhibit construction, but rather to ensure the proper development thereof through regulatory limitations. In this light, the City of Roman Forest hopes to protect the health, safety and welfare of its citizens, the consumer and public interest.

The City of Roman Forest building process may be comprised of 3 steps. Steps are as follows but are in no way exclusive.

1. Temporary Culvert Permit

- The temporary culvert does not require stabilized sand currently. Once the temporary culvert is in place, contact Bureau Veritas for inspection.

2. Logging Permit

- Upon completion of the logging process, contact the Permit Desk to schedule inspection. An inspection will be made of the property to ensure all debris & stumps have been removed. A deposit refund will be mailed by USPS within 7-10 business days unless other arrangements are made.

3. Building Permit

- All permits require a permit application to be filed. Review the **submission checklist**; all documents need to be submitted at the same time. Plans will not be sent to plan review for approval without all required documentation (see Plan Review and Permitting Procedures). All contractors must register with the city's Permit desk. Prior to issuing permits, an inspection by the Building Official will be made to insure the build site has a dumpster, Port-O-Can, and that silt fencing has been placed around the entire property (excluding the culvert area) and is set at least 6 inches into the ground all of which shall be maintained throughout the project. Jobsites shall remain free of litter and debris. General Contractor may be subject to citation for littering.

Effective October 1st, 2019, **Type "A" Lot grading plans** are a part of the approval process for residential & commercial property builds in the City of Roman Forest. A licensed architect or civil engineer will need to develop, sign & stamp a type "A" grading plan that includes elevation, lot type, surface gradient & swale location as the basis to control surface runoff. This shall be included with the site plans showing forms with elevations. All new development requires a grading plan when plans for the new build are submitted to the city for approval.

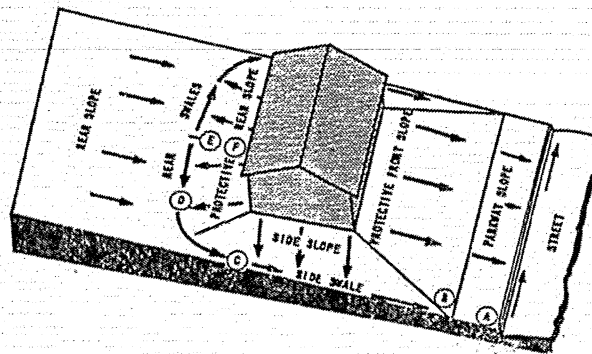
The following is the type of grade the City of Roman Forest requires, and the grade must be maintained to conform to our requirements:

TYPICAL FHA-HUD LOT GRADING

TYPE "A" LOT GRADING ALL DRAINAGE TO STREET

Rear yard swales behind the house carry surface water from rear yard to side yard swales (1% minimum) which carry it to street for disposal through the street gutters and the public storm drainage system.

- A Curb-top on lot line extension at highest lot corner.
- A-B Parkway slope
- B-C Side yard swale
- C-D Swale turn with 10' radius
- D-E Rear swale
- E-F Protective rear slope up from high point of swales



A form survey will need to be provided to the Building Inspector upon inspection of the form boards **prior** to pouring the foundation. A rough grade of the lot must be done at this point.

Before the certificate of occupancy can be issued, a **final elevation grading survey** must be furnished to the Building Official for approval. The actual grading of the property should mimic the engineered grading plans that were provided at the beginning of the build.

The survey is required to include a FEMA Elevation Certificate and elevations of grading in accordance with the Type "A" Lot Grading seen in the diagram, including the culvert on your property along with the **flow line** elevation and the elevation of the adjacent culverts on each side, verifying installation will promote proper drainage. After the city has approved the final elevation grading survey, contact Bureau Veritas for inspection. The culvert and driveway must pass inspection prior to pouring concrete.

Once the approved final inspections have been received by the city, a certificate of occupancy for the home will be issued along with a refund of the \$500 deposit.

Required during the building process:

1. Permits

- Additional permits are required for any work (including fences) not approved on the original plans. As per Ordinance 139, Section 107.6 if work is performed without a permit the permit fees will be doubled.

2. Inspections

- It is the responsibility of the builder and/or contractor to call Bureau Veritas for inspections @ 877-837-8775. Call by 4pm for next day availability.

3. Rough Grade & Lot Requirements

- A rough grade will need to be completed upon the foundation being poured as to keep water from draining or flooding adjacent properties. The lot must remain clear of debris & approved plans must be kept on premise for review by the city building inspector throughout the build.

NOTE: When the form boards are set, a surveyor needs to verify that the new building will be located behind the building line as per the plat of Roman Forest Sections One and Two.

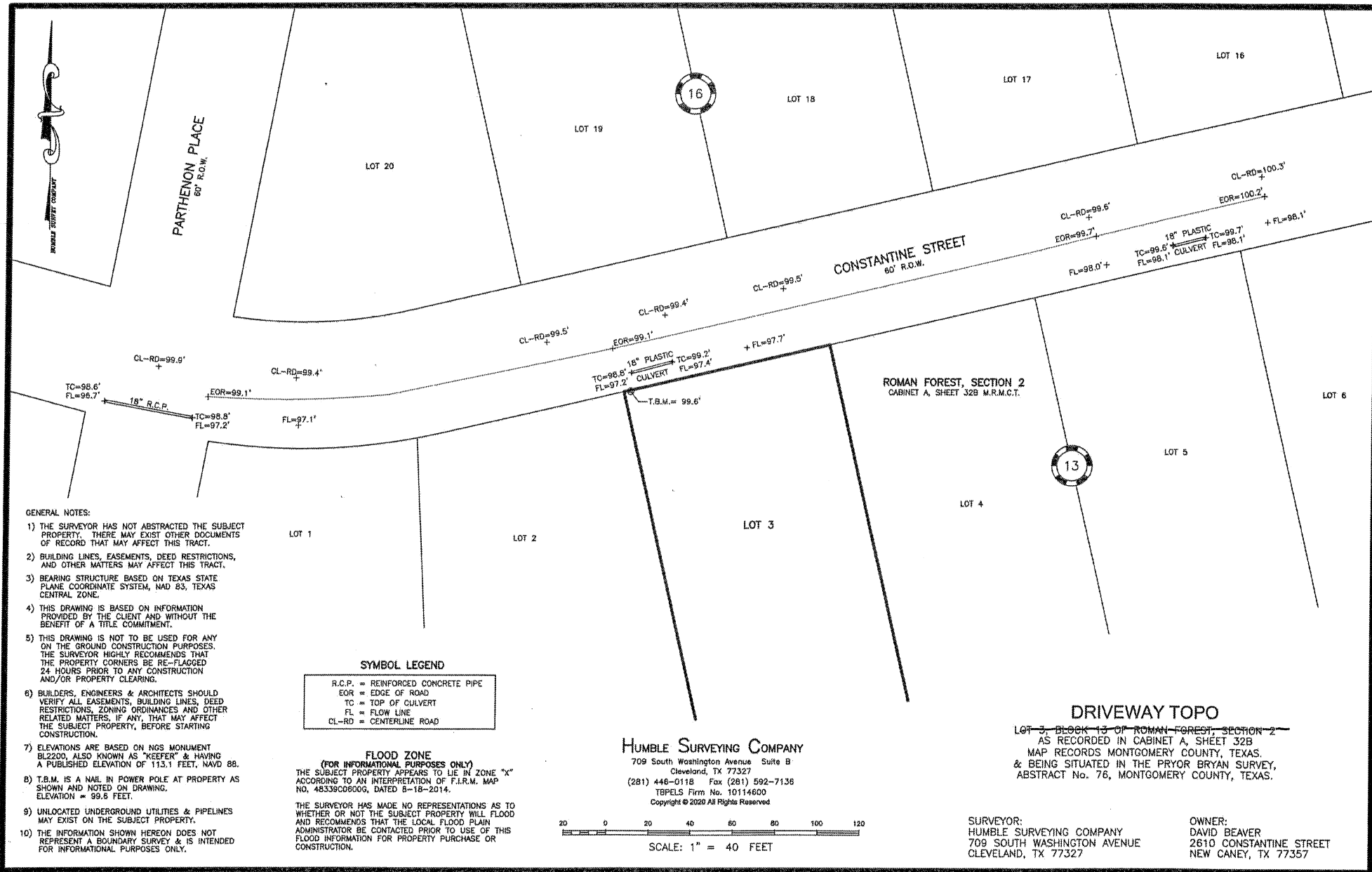
Construction and/or remodeling work shall not begin before 6:30 a.m. or shall commence by 7:30 p.m. (subject to citation for noise disturbance).

No concrete trucks over 2 tons allowed on the jobsite before 6:30 a.m. This includes all City of Roman Forest streets. Drivers will be held accountable and subject to a citation for noise disturbance.

Applicable Ordinances:

217	Land Use
407	Building Control Rules and Regulations
419-19	Adopting building Codes
218-B	Land clearing and Logging
417-14	Building Regulations to Minimize Flood Losses
412-A	Floor Elevation Requirements
425-19	Regulating Driveway Construction
196-04	New Build Impact Fees
197-04	Additional Construction Impact Fees
415-20	Regulating Fences on Residential Property
403	Regulating Swimming Pools/Spas
418-18	Waterfront Structures
404	Construction of Apartments

Example



- GENERAL NOTES:
- 1) THE SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT MAY AFFECT THIS TRACT.
 - 2) BUILDING LINES, EASEMENTS, DEED RESTRICTIONS, AND OTHER MATTERS MAY AFFECT THIS TRACT.
 - 3) BEARING STRUCTURE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, TEXAS CENTRAL ZONE.
 - 4) THIS DRAWING IS BASED ON INFORMATION PROVIDED BY THE CLIENT AND WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
 - 5) THIS DRAWING IS NOT TO BE USED FOR ANY ON THE GROUND CONSTRUCTION PURPOSES. THE SURVEYOR HIGHLY RECOMMENDS THAT THE PROPERTY CORNERS BE RE-FLAGGED 24 HOURS PRIOR TO ANY CONSTRUCTION AND/OR PROPERTY CLEARING.
 - 6) BUILDERS, ENGINEERS & ARCHITECTS SHOULD VERIFY ALL EASEMENTS, BUILDING LINES, DEED RESTRICTIONS, ZONING ORDINANCES AND OTHER RELATED MATTERS, IF ANY, THAT MAY AFFECT THE SUBJECT PROPERTY, BEFORE STARTING CONSTRUCTION.
 - 7) ELEVATIONS ARE BASED ON NGS MONUMENT BL2220, ALSO KNOWN AS "KEEFER" & HAVING A PUBLISHED ELEVATION OF 115.1 FEET, NAVD 88.
 - 8) T.B.M. IS A NAIL IN POWER POLE AT PROPERTY AS SHOWN AND NOTED ON DRAWING. ELEVATION = 99.6 FEET.
 - 9) UNLOCATED UNDERGROUND UTILITIES & PIPELINES MAY EXIST ON THE SUBJECT PROPERTY.
 - 10) THE INFORMATION SHOWN HEREON DOES NOT REPRESENT A BOUNDARY SURVEY & IS INTENDED FOR INFORMATIONAL PURPOSES ONLY.

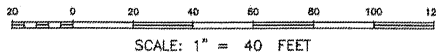
SYMBOL LEGEND

R.C.P.	= REINFORCED CONCRETE PIPE
EOR	= EDGE OF ROAD
TC	= TOP OF CULVERT
FL	= FLOW LINE
CL-RD	= CENTERLINE ROAD

FLOOD ZONE
(FOR INFORMATIONAL PURPOSES ONLY)
THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE "X" ACCORDING TO AN INTERPRETATION OF F.I.R.M. MAP NO. 48339C0600G, DATED 8-18-2014.

THE SURVEYOR HAS MADE NO REPRESENTATIONS AS TO WHETHER OR NOT THE SUBJECT PROPERTY WILL FLOOD AND RECOMMENDS THAT THE LOCAL FLOOD PLAN ADMINISTRATOR BE CONTACTED PRIOR TO USE OF THIS FLOOD INFORMATION FOR PROPERTY PURCHASE OR CONSTRUCTION.

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TBPELS Firm No. 10114600
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DRIVEWAY TOPO
LOT 3, BLOCK 13 OF ROMAN FOREST, SECTION 2
AS RECORDED IN CABINET A, SHEET 32B
MAP RECORDS MONTGOMERY COUNTY, TEXAS,
& BEING SITUATED IN THE PRYOR BRYAN SURVEY,
ABSTRACT No. 76, MONTGOMERY COUNTY, TEXAS.

SURVEYOR:
HUMBLE SURVEYING COMPANY
709 SOUTH WASHINGTON AVENUE
CLEVELAND, TX 77327

OWNER:
DAVID BEAVER
2610 CONSTANTINE STREET
NEW CANEY, TX 77357